

051.A

Map

0004

Block

0005.0

Lot

1 of 1

Residential

CARD

ARLINGTON

APPRaised: 758,200 /

USE VALUE: 758,200 /

ASSESSed: 758,200 /

Total Card /

Total Parcel

758,200

758,200

758,200

PROPERTY LOCATION

IN PROCESS APPRAISAL SUMMARY

No

Alt No

Direction/Street/City

23

CENTRAL ST, ARLINGTON

Unit #:

2

Owner 1: MULVEY CHRISTOPHER J &

Owner 2: FORMAN LEILA B

Owner 3:

Street 1: 23 CENTRAL ST UNIT 2

Street 2:

Twn/City: ARLINGTON

St/Prov: MA

Cntry

Own Occ: Y

Postal: 02476

Type:

Use Code

Land Size

Building Value

Yard Items

Land Value

Total Value

102

0.000

755,700

2,500

758,200

Total Card

0.000

755,700

2,500

758,200

Total Parcel

0.000

755,700

2,500

758,200

Source: Market Adj Cost

Total Value per SQ unit /Card: 450.24

/Parcel: 450.24

Legal Description

User Acct

210396

GIS Ref

GIS Ref

Entered Lot Size

Total Land:

Land Unit Type:

Parcel ID

051.A-0004-0005.0

Tax Yr

Use

Cat

Bldg Value

Yrd Items

Land Size

Land Value

Total Value

Asses'd Value

Notes

Date

2022

102

FV

755,700

2500

.

758,200

Year end

12/23/2021

2021

102

FV

733,600

2500

.

736,100

Year End Roll

12/10/2020

2020

102

FV

722,600

2500

.

725,100

725,100

Year End Roll

12/18/2019

2019

102

FV

634,600

2500

.

637,100

637,100

Year End Roll

1/3/2019

2018

102

FV

561,300

2500

.

563,800

563,800

Year End Roll

12/20/2017

2017

102

FV

511,700

2500

.

514,200

514,200

Year End Roll

1/3/2017

2016

102

FV

511,700

2500

.

514,200

514,200

Year End

1/4/2016

2015

102

FV

450,300

2500

.

452,800

452,800

Year End Roll

12/11/2014

PREVIOUS ASSESSMENT

SALES INFORMATION

TAX DISTRICT

PAT ACCT.

Owner 1: MITCHELL DONALD -

Owner 2: MITCHELL LOIS E -

Street 1: 23 CENTRAL ST UNIT 2

Twn/City: Arlington

St/Prov: MA

Cntry

Postal: 02474

Grantor

Legal Ref

Type

Date

Sale Code

Sale Price

V

Tst

Verif

Notes

MITCHELL DONAL

129-121

3/31/2014

545,000

No

No

KANE THOMAS

U65-179

7/22/1999

319,900

No

No

4

Building Permits

Activity Information

Code

Descrip/No

Amount

Com. Int

11/26/2008

1455

Addition

16,750

G10

GR FY10

4x6 addition to ex

9/29/2000

801

Redo Kit

50,000

O

REMODEL KITCHEN-1/

Item

Code

Description

%

Item

Code

Description

Z

R2

TWO FAMIL

100

water

o

Sewer

n

Electri

Census:

Exmpt

Flood Haz:

D

Topo

s

Street

t

Gas:

LAND SECTION (First 7 lines only)

Building Permits

Activity Information

Use Code

Description

LUC Fact

No of Units

Depth / PriceUnits

Unit Type

Land Type

LT Factor

Base Value

Unit Price

Adj

Neigh

Neigh Infl

Neigh Mod

Infl 1

%

Infl 2

%

Infl 3

%

Appraised Value

Alt Class

%

Spec Land

J Code

Fact

Use Value

Notes

102

Condo

0

Sq. Ft.

Site

0

0.

0.00

7404

Total AC/HA: 0.00000

Total SF/SM: 0

Parcel LUC: 102

Condo

Prime NB Desc

CONDO

Total:

Spl Credit

Total:

051.A

0004

0005.0

1 of 1

Residential

CARD

ARLINGTON

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Total Parcel

758,200

758,200

758,200

PROPERTY LOCATION

IN PROCESS APPRAISAL SUMMARY

OWNERSHIP

PREVIOUS OWNER

NARRATIVE DESCRIPTION

OTHER ASSESSMENTS

PROPERTY FACTORS

LAND SECTION (First 7 lines only)

PREVIOUS ASSESSMENT

SALES INFORMATION

BUILDING PERMITS

ACTIVITY INFORMATION

DISCLAIMER

Database: AssessPro - ArchiveProArling

aprob

2023

